



City of Petersburg Virginia

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Special City Council Meeting after Regular City Council Meeting

April 6, 2021
Virtual Meeting
4:00 PM

City Council

Samuel Parham, Mayor – Ward 3
Annette Smith-Lee, Vice-Mayor – Ward 6
Treska Wilson-Smith, Councilor – Ward 1
Darrin Hill, Councilor – Ward 2
Charlie Cuthbert, Councilor – Ward 4
W. Howard Myers, Councilor – Ward 5
John A. Hart, Sr., Councilor – Ward 7

Interim City Manager

Kenneth Miller

-
1. **Roll Call**
 2. **Official Public Hearings**
 - a. Public hearing and consideration of an ordinance to declare the property located at 380 E. Washington Street a blighted property and a public nuisance to the community, and authorizing the abatement of such nuisance.
 3. **Adjournment**



City of Petersburg

Ordinance, Resolution, and Agenda Request

DATE: April 6, 2021

TO: The Honorable Mayor and Members of City Council

THROUGH:

FROM: Anthony Williams

RE: **Public hearing and consideration of an ordinance to declare the property located at 380 E. Washington Street a blighted property and a public nuisance to the community, and authorizing the abatement of such nuisance.**

PURPOSE: For Council to declare the property located at 380 E. Washington Street a blighted property and a public nuisance to the community and authorize abatement of such nuisance.

REASON: For Council to declare the property located at 380 E. Washington Street a blighted property and a public nuisance to the community and authorize abatement of such nuisance.

RECOMMENDATION: ADOPT ORDINANCE

BACKGROUND: On March 5, 2021, the Property Maintenance Official issued a Report in accordance with 106.2 of the Virginia Property Maintenance Code referencing a document prepared by Mosely Architects and based upon on site surveys conducted by professionals from Moseley Architects, the Petersburg Property Maintenance Official, and other City personnel.

In the Maintenance Report, the Maintenance Official makes the determination that the property is unsafe, and unfit for human habitation. This Ordinance authorizes and supports the abatement of these conditions upon the property.

COST TO CITY: approximately \$1,000,000.00 or more

BUDGETED ITEM: no

REVENUE TO CITY: UNK.

CITY COUNCIL HEARING DATE:

CONSIDERATION BY OTHER GOVERNMENT ENTITIES: NA

AFFECTED AGENCIES: Neighborhood Services

RELATIONSHIP TO EXISTING ORDINANCE OR RESOLUTION: Consistent with previously adopted 14-ORD-22.

REQUIRED CHANGES TO WORK PROGRAMS: N/A

ATTACHMENTS:

1. ramada ordinance
2. B
3. A

AN ORDINANCE TO DECLARE THE PROPERTY LOCATED AT 380 E. WASHINGTON STREET A BLIGHTED PROPERTY AND A PUBLIC NUISANCE TO THE COMMUNITY, AND AUTHORIZING THE ABATEMENT OF SUCH NUISANCE

WHEREAS, §15.2-906 of the Code of Virginia authorizes a locality to require the removal, repair, or securing of any building, wall or any other structure that might endanger the public health or safety of other residents of the locality; and

WHEREAS, under this section, upon the failure of the owner to take corrective action after reasonable notice and reasonable time to do so, the locality may proceed to remove, repair, or secure the building, wall, or structure, and recover such costs, if unpaid, as a lien upon the property ranking on a parity with liens for unpaid local real estate taxes; and

WHEREAS, the City of Petersburg has adopted a local ordinance (22-50) which mirrors the requirements of the foregoing section; and

WHEREAS, §36-3 of the Code of Virginia defines “blighted property” as *any individual commercial, industrial, or residential structure or improvement that endangers the public's health, safety, or welfare because the structure or improvement upon the property is dilapidated, deteriorated, or violates minimum health and safety standards, or any structure or improvement previously designated as blighted pursuant to § 36-49.1:1, under the process for determination of "spot blight;"* and

WHEREAS, §36-49.1:1(G) of the Code of Virginia authorizes a locality to adopt an Ordinance declaring any blighted property to constitute a nuisance, and thereupon abate the nuisance pursuant to §15.2-900 or §15.2-1115 of the Code of Virginia after written notice by certified mail to the owner or owners as shown on the current real estate tax assessment books; and

WHEREAS, upon the owner’s failure to abate or remove the nuisance, the locality may initiate an action to abate or remove the nuisance in accordance with §15.2-900 of the Code of Virginia, and may do so at its own expense with the costs of removal or abatement imposed as a lien upon the property bearing the legal rate of interest per §6.2-301 of the Code of Virginia beginning on the date the removal or abatement is completed through the date upon which the lien is paid; and

WHEREAS, on March 5, 2021, the Petersburg Property Maintenance Official issued a Report of Unsafe and Unsecured Structure that is Unfit for Human Habitation – Pursuant to VPMC 106.2 for the property that is located at 380 E. Washington Street (**Exhibit A** - hereinafter “Property Maintenance Report”); and

WHEREAS, the Report references and includes as an attachment, a document prepared by Mosely Architects entitled “Ramada Inn Observations Documentation” (hereinafter “Mosely Report”) prepared upon on site surveys conducted on November 6, 2020 and January 19, 2021 by a team of licensed professionals from Mosely Architects, the Petersburg Property Maintenance Official, and other staff personnel from the City of Petersburg; and

WHEREAS, the Property Maintenance Report and the Moseley Report identify a significant number of conditions upon the property which have been caused and/or exacerbated by the failure of the owner to properly maintain or repair the building and which pose a substantial danger to life and property if left unabated; and

WHEREAS, the property has substantial deterioration from the time it was purchased by C.A. Harrison Companies, LLC in year 2016 which are chronicled in the Mosely Report at pages 56 through 63; and

WHEREAS, the property owner has been cited for numerous civil penalties and criminal penalties for the condition of the property since its acquisition, but has taken no action to abate the unlawful conditions on the property; and

WHEREAS, the Property Maintenance Official issued a Notice to Repair or Demolish via Certified Mail on March 12, 2021; and

WHEREAS, the property was previously declared to be a blighted property and a public nuisance to the community in year 2014 pursuant to 14-ORD-22 (**Exhibit B**), and the blighted and unsafe conditions upon the property have only worsened since that time to present; and

WHEREAS, it is the belief of City Council for the City of Petersburg that the property constitutes a blighted property an a public nuisance that is a danger to the health, safety, and welfare of the citizens of the City of Petersburg; and

WHEREAS, it is the desire of City Council that the City's Administration take all necessary action to ensure the abatement of such public nuisance and blighted conditions upon said property.

NOW therefore be it ORDAINED, that City Council for the City of Petersburg does hereby DECLARE the property at 380 East Washington Street, Petersburg, Virginia to be a blighted property that constitutes a nuisance as provided for by §36-49.1:1(G) of the Code of Virginia; and

BE it further ORDAINED, that City Council does hereby further DECLARE the property to be a danger to the public health or safety of other residents of the locality for the purposes of §15.2-906; and

BE it further ORDAINED that the City's Manager and City Attorney are hereby directed to initiate an action to compel the owner to abate, raze, or remove the public nuisance; and proceed to immediately abate, raze, or remove such nuisance presenting an imminent and immediate threat to life or property; and take all necessary action to abate the conditions using all legal means and expend such funds as may be necessary for such abatement and seek to recover said funds from the property owner, and if not immediately recovered, record such expenses as a lien on the property until paid as provided for by Code of Virginia §§36-49.1:1(G); 15.2-900; 15.2-906; 15.2-1115 and 22-50 of the Petersburg City Code; and any other applicable law. The City Manager is directed to bring forward a supplemental appropriation ordinance henceforth detailing and funding all expenditures relating to the action and abatement as described in this ordinance.

This Ordinance shall take effect immediately upon adoption.



City Attorney
Brian K. Telfair

Assistant City Attorney
Danielle N. Powell

City of Petersburg

Office of the City Attorney

City Hall
135 North Union Street
Petersburg, Virginia 23803

Telephone: (804) 733-2305

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E-mail:

btelfair@petersburg-va.org

dpowell@petersburg-va.org

April 24, 2014

**VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED
AND REGULAR MAIL**

Mr. Robert J. Harmon
898 Old Chester Road
Far Hills, NJ 07931

VIA REGULAR MAIL

Mr. James Geddis
Petersburg Regency, L.L.C.
380 E. Washington Street
Petersburg, VA 23803

Mr. Charles G. Meyer, Esq.
LeClair Ryan
Riverfront Plaza, East Tower
951 East Byrd Street, Eighth Floor
Richmond, VA 23219

**RE: FORT LEE REGENCY HOTEL
380 EAST WASHINGTON STREET, PETERSBURG**

Dear Mr. Harmon, Mr. Geddis, and Mr. Meyer:

EXHIBIT B

I enclose an Ordinance enacted by the Petersburg City Council on April 15, 2014,
declaring 380 E. Washington Street to be a public nuisance.

Please contact me with any questions or comments you may have.

Very truly yours,

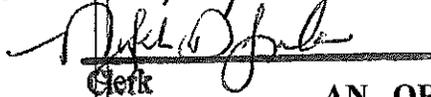


Brian K. Telfair, City Attorney

BKT/deg
Enclosure

cc: Mayor Brian A. Moore and Members of City Council
William E. Johnson, City Manager
J. Howard Hines, Building's Official/Property Maintenance Official

I, the undersigned, Clerk of the Council of the City of Petersburg, Virginia, do certify that the foregoing ordinance is a true and exact copy of an ordinance passed by the said Council at its meeting held on 4/15/2014.


Clerk

14-Ord-22
Adopted: 04/15/14

AN ORDINANCE TO DECLARE THE PROPERTY LOCATED AT 380 E. WASHINGTON STREET A BLIGHTED PROPERTY AND A PUBLIC NUISANCE TO THE COMMUNITY, AND AUTHORIZING THE ABATEMENT OF SUCH NUISANCE.

WHEREAS, Code of Virginia §36-49.1:1(G) authorizes localities to declare blighted property as defined in Code of Virginia §36-3 to be a nuisance; and

WHEREAS, the City of Petersburg has codified the provisions of Code of Virginia §36-49.1:1(G) in the City of Petersburg Code §22-155; and

WHEREAS, the City of Petersburg requires that all structures within the City to be maintained in good repair, structurally sound, and reasonably protected against decay and deterioration in compliance with Volume II – Building Maintenance Code of the Uniform Statewide Building Code, as adopted by the City of Petersburg Code §22-31; and

WHEREAS, the structure located at 380 East Washington Street (the “Fort Lee Regency”) sits directly adjacent to the northbound and southbound lanes of Interstate 95 and is viewed by approximately 100,000 people per day; and

WHEREAS, the Fort Lee Regency has been vacant and unused for at least two (2) years;

WHEREAS, the City sent the present owner of the Fort Lee Regency a Repair or Demolition Notice on or about May 31, 2013 requesting that he repair or demolish the Fort

WHEREAS, since 2005 the Petersburg Bureau of Police has received numerous complaint calls for service from the public. These complaints include, by way of illustration but not limitation, abduction, armed robbery, drug violations, solicitation, and vandalism; and

WHEREAS, for the last two (2) years, the Petersburg Bureau of Police has received complaint calls to include larceny, reports of suspicious persons and vehicles, and vandalism; and

WHEREAS, recently, the Hotel has been vandalized by individuals marking the exterior of the building with graffiti and is also used as an assembly point for gangs; and

WHEREAS, the above conditions endanger the public's health, safety, or welfare; and

WHEREAS, the Inspections Division and the City Attorney's Office have attempted to remediate this property; and

WHEREAS, on or about December 5, 2013, the City of Petersburg, pursuant to applicable State Law and Local Ordinances, requested the owner to submit a plan for the spot blight abatement of this property via demolition/razing requesting that such plan be submitted within thirty (30) days of receipt; and

WHEREAS, the owner of the Fort Lee Regency did not submit a plan to demolish or raze the property, but instead submitted plans to convert the hotel into an assisted living facility, apartments, or an all-suite hotel; and

WHEREAS, a copy of this Ordinance was sent via certified and first-class mail to the

WHEREAS, a copy of this Ordinance was also sent via facsimile and first-class mail to the property owner and the property owner's Attorney; and

WHEREAS, the estimated cost to demolish/raze the property, as stated above, such that it is no longer a nuisance, is approximately \$749,000.00 and Code of Virginia Sec. §36-49.1:1(G) allows for the recovery of such costs from the property owner; and

WHEREAS, the estimated cost to abate the property, as stated above, such that it is no longer a nuisance, is approximately \$300,000.00 and Code of Virginia Sec. §36-49.1:1(G) allows for the recovery of such costs from the property owner.

NOW, THEREFORE, BE IT ORDAINED, by the City Council of the City of Petersburg, as follows:

§1. That, for the reasons stated above and for any reasons discussed at the City Council meeting held on this Ordinance, the subject property, located at 380 East Washington Street, Petersburg, Virginia, is declared to be blighted and thereby constitutes a nuisance, as provided for by Code of Virginia §36-49.1:1(G).

§2. That abatement of the nuisance, as stated above, may be carried out pursuant to the Code of Virginia §§15.2-900 and/or 15.2-1115, in addition to all other remedies available to the City. Any costs incurred by the City associated with such abatement shall be recovered from the property owner and, if not immediately recovered, recorded as a lien on the property until paid, as allowed by Code of Virginia §36-49.1:1(G) and §15.2-1115.

§3. That this ordinance shall take effect immediately upon adoption.



CITY OF PETERSBURG

NEIGHBORHOOD SERVICES

CODE COMPLIANCE DIVISION

1340 W WASHINGTON STREET, PETERSBURG, VIRGINIA 23803
PHONE (804) 733-2409 FAX (804) 863-2780 TDD (804) 733-3008

REPORT OF UNSAFE AND UNSECURED STRUCTURE THAT IS UNFIT FOR HUMAN HABITATION - PURSUANT TO VPMC 106.2

Property Address: 380 E Washington Street, Petersburg, VA 23803; Parcel ID #012-290001

Mr. Christopher A. Harrison,

On November 19, 2021, the Department of Neighborhood Services, in coordination with Mosely Architects, with the permission of yourself, conducted an on-site inspection of the vacant and unoccupied property known as 380 E Washington Street. The purpose of the inspection was focused on determining if any unsafe conditions existed and to what extent.

Initial considerations of the exterior of the property were, are there identifiable access points for trespassing, are there signs of recent trespassers activity from previous inspections, and are there conditions that could pose a risk to those that trespass here.

It was clear that all three of those concerns were verifiable. Not only were there clear signs that people have been trespassing by force, but the key to unlock the front gate was at the time of the inspection and still is at the time of writing this report, hanging on the fence near the entrance. Despite the numerous alerts to the owners to secure the property, the exterior and interior of the property are still being trespassed. Evidence of this can be viewed at the numerous areas with fresh graffitiⁱ, and newly broken windowsⁱⁱ – note that the windows are broken from the inside, and the boards that once secured openings on several different floors are now removed.

From the above findings it is has been determined the structure is unsecure, and by turn unsafe.ⁱⁱⁱ

During the inspection of the exterior of the property (this area includes the grounds, parking deck, and garage) the survey identified stagnant/standing water^{iv}, large piles of debris^v – observed among the debris was broken glass and shards of metal, there were improperly secured and maintained guard rails and guards^{vi} which surrounded a large opening and potentiates a fall in excess of 30', and excessively overgrown weeds, bushes, grass, and trees^{vii}. It should be noted that there was vegetation growth from the concrete wall, and floors of the parking garage.

Other identified concerns to the exterior grounds include, rusted out and damaged plumbing components^{viii}, rusted beams supporting the parking garage and deck^{ix}, which in some areas are directly affecting the integrity of the walls the beams are enclosed in, and peeling paint^x from the majority of the metal surfaces in the garage which is directly influencing the integrity of those materials.

The inspection of the perimeter resulted in the determination that there is a potential for serious injury or death. At the north side of the structure near the main entrance there is a drop in elevation ranging from approximately 15' near the entrance to 60' at the north east side of the building. There are no guards or

fencing installed preventing anyone attempting to access the property from falling into the ravine below or into the broken glass of the arboretum/conservatory near the entrance^{xi}.

Considering the exterior of the structure^{xii}, it is immediately apparent that the façade is compromised. On the east side of the structure there is a section spanning four floors where the façade has fallen from the building. From that height, if someone was struck by a piece of falling debris, we are confident, at minimum, notable injury and possibly death could result.

Upon entering the structure, it was immediately clear that the water has found its way into the building^{xiii}. Near the center of gutted interior on the first floor was a standing puddle of water. Directly above that were clear signs of moisture. Directly below, one floor down was a room whose carpet was soaked and walls showing a black organic growth. The water from the room was seeping into the adjacent hallway. Water was present on almost every floor of the structure.

On various floors the service and guest elevator shafts were open or the wall surrounding the shaft had been demolished^{xiv}. In at least one case the openings were large enough to fall through. The shaft openings were identified as high as the top two floors. In some cases, a weak guard was installed to prevent injury. However, it's likely the materials used would not prevent someone falling through if normal force was applied. In more extreme cases there were no guards at all^{xv}. At the bottom of the service elevator was an undeterminable depth of water that had been there for an undeterminable amount of time.

One of the clearer interior safety concerns that needed to be inspected was the large expanse of façade spanning four floors and visible from I-95^{xvi}. From the exterior it was clear the demolition of the interior had already taken place on those floors and there was little protection from falling in those locations. The interior inspection determined there was an attempt to seal the openings^{xvii}, however the attempt was completed haphazardly and provided little protection. On the third floor of the opening, there was nothing installed to prevent someone from falling out of the building, an estimated 100 feet into the Appomattox water shed^{xviii}.

Other notable interior safety concerns include broken windows, damp conditions with organic growth^{xix}, large amounts of debris^{xx}, unprotected openings in the floors exposed through demolition^{xxi}, a soft and spongy roof with standing water and, in at least one location, a tree has taken root and is now three feet tall^{xxii}.

The owners lack of responsibility in response to our enforcement efforts and the general lack of concern for trespassers, as shown through the substandard efforts to secure the property, and the existing conditions that continue to worsen could potentially lead to serious injury or death. This determination that this structure is unfit for human occupancy is not made lightly.

Based on the foregoing, and from collected evidence that this structure is unable to be kept secure, coupled with the blatant refusal to address the existing safety violations originally issued October of 2019, and a follow up notice that included separate violations issued January of 2020, has led Neighborhood Services to determine that this unsafe structure is unfit for human occupancy and thus constitutes such a hazard that it should be razed or removed, as authorized by section 106.1^{xxiii} of the 2015 Virginia Maintenance Code, in lieu of complete abatement.

Copies of all violation notices, inspection sheets, and engineers report have been attached for reference.

Bradley Shupp
Property Maintenance Official



CC. Frank Poulin, Director of Neighborhood Services.

ⁱ **Sec. 50-62. - Certain offensive, unwholesome, etc., uses of land declared a nuisance.** (a) Any condition or use of any land or premises in the city which is offensive, unwholesome, unsanitary, unhealthy, is detrimental to the property of others, or which causes or tends to cause substantial diminution in value of the property in the neighborhood in which such land or premises is located is hereby declared a nuisance.

ⁱⁱ **304.13 Window, skylight and door frames.** Every window, skylight, door and frame shall be kept in sound condition, good repair and weather tight. Commentary - All windows, skylights and doors must be installed in their frames so that they are weather tight (i.e., able to prevent wind, rain or other elements from entering the structure). A workmanlike installation will provide appropriate protection while maintaining operational capability.

304.13.1 Glazing. Glazing materials shall be maintained free from cracks and holes. Commentary - All glass is to be maintained without open cracks or holes, which can admit wind and moisture. Defective glass poses hazards to occupants.

ⁱⁱⁱ **202 Unsafe structure.** An existing structure (i) determined by the code official to be dangerous to the health, safety and welfare of the occupants of the structure or the public, (ii) that contains unsafe equipment, or (iii) that is so damaged, decayed, dilapidated, structurally unsafe or of such faulty construction or unstable foundation that partial or complete collapse is likely. **A vacant existing structure unsecured or open shall be deemed to be an unsafe structure.**

^{iv} **302.2 Grading and Drainage.** All premises shall be graded and maintained to protect the foundation walls or slab of the structure from the accumulation and drainage of surface or stagnant water in accordance with the applicable building code. Commentary - Improperly graded property areas create health and safety hazards. Stagnant water provides a home for many nuisance insects, especially the mosquito. Stagnant water next to a structure can cause mold growth, which can lead to the decay of wooden members. Pondered water is an attractive nuisance for children and has contributed to numerous drowning deaths. Stagnant water is foul or stale water. Regrading the premises may be necessary to prevent stagnant water. If regrading is not practical, some type of water diversion system must be installed. Other solutions include replacing nonabsorbent soil with absorbent soil, installing underground drain tile or building an underground leaching pit. Soil erosion can be a nuisance if material is being deposited in drainage systems or on adjacent properties, and is an indication of improper grading. Planting and maintaining an acceptable ground cover generally prevents erosion. As indicated by the exception, water retention areas or reservoirs are permitted by the code even though they may contain stagnant water; however, the code official must approve their use.

^v **304.1 General** The exterior of a structure shall be maintained in good repair, structurally sound, and sanitary so as not to pose a threat to the health, safety, or welfare. Comments - It must be kept in a sanitary condition. There shall be no accumulation of litter or debris on porches and other parts of the exterior structure.

^{vi} **307.1 General.** Handrails and guards required by the applicable building code or which were provided when a building was constructed shall be maintained. **Comments - 1015.2 Where Required.** Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

^{vii} **Sec. 50-63. - Detrimental or excessively high growths of weeds or other vegetable matter.** (a)(1) The existence of any weeds, bushes, grass or other vegetable matter upon any land or premises in the city which is detrimental to the health, comfort or general welfare of any of the inhabitants of the city or which exceeds a height of 12 inches is hereby declared a nuisance.

^{viii} **504.3 Plumbing System Hazard.** Where it is found that a plumbing system in a structure constitutes a hazard to the public, the occupants or the structure, the code shall require the defects to be corrected to eliminate the hazard. Commentary - Any plumbing system having a deficiency or condition that is deemed by the code official as hazardous to the occupants or to the structure must be repaired or altered to eliminate the hazard. Hazards in a plumbing system include, but are not limited to, the following:

- Deteriorated, damaged, worn or otherwise defective piping, fixtures, or fittings.

^{ix} **304.4 Structural Members.** Structural members shall be maintained free from deterioration and shall be capable of safely supporting the imposed dead and live loads.

^x **304.2 Protective Treatment.** Exterior surfaces, including but not limited to, doors, door and window frames, cornices, porches, trim, balconies, decks and fences, shall be maintained in good condition. Exterior wood surfaces, other than decay-resistant woods, shall be protected from the elements and decay by painting or other protective covering or treatment. Peeling, flaking and chipped paint shall be eliminated and surfaces repainted. Siding and masonry joints, as well as those between the building envelope and the perimeter of windows, doors and skylights, shall be maintained weather resistant and water tight. Metal surfaces subject to rust or corrosion shall be coated to inhibit such rust and corrosion, and surfaces with rust or corrosion shall be stabilized and coated to inhibit future rust and corrosion. Oxidation stains shall be removed from exterior surfaces. Surfaces designed for stabilization by oxidation are exempt from this requirement. Commentary - Other sections of the code require items such as walls, doors, windows and architectural trim to be maintained in good repair and condition. This section makes it clear that if paint or other protective covering or treatment is used to provide protection from the elements, it cannot be peeling, flaking or chipped. Additionally, buildings with deteriorated paint or with masonry joints and siding in disrepair or not weather tight will eventually decay and exert a blighting influence on the community.

^{xi} **307.1 General.** Handrails and guards required by the applicable building code or which were provided when a building was constructed shall be maintained. Comments - 1015.2 Where Required. Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

^{xii} **304.6 Exterior Walls.** Exterior walls shall be free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration. Commentary - Holes, cracks, decayed wood or any other condition that permits rain or dampness to enter the structure must be repaired. Exterior surface materials must be properly coated to prevent deterioration if they are not naturally decay resistant. Many materials do not require surface coating, including: certain metals (aluminum, copper, etc.); masonry products (bricks, stone, stucco, etc.); naturally, decay-resistant woods (redwood, cedar, etc.); and woods that have been treated with chemicals to prevent decay.

^{xiii} **304.6 Exterior Walls.** Exterior walls shall be free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration. Commentary - Holes, cracks, decayed wood or any other condition that permits rain or dampness to enter the structure must be repaired. Exterior surface materials must be properly coated to prevent deterioration if they are not naturally decay resistant. Many materials do not require surface coating, including: certain metals (aluminum, copper, etc.); masonry products (bricks, stone, stucco, etc.); naturally, decay-resistant woods (redwood, cedar, etc.); and woods that have been treated with chemicals to prevent decay.

304.7 Roof and Drainage. The roof and flashing shall be sound, tight, and not have defects that admit rain. Roof drainage shall be adequate to prevent dampness or deterioration in the walls or interior portion of the structure. Roof water shall be discharged in a manner to protect the foundation or slab of buildings and structures from the accumulation of roof drainage. Commentary - A secure, nonleaking roof is necessary to keep a building properly maintained. Even small leaks can cause thousands of dollars in damage to insulation, plaster, studs and joists. Roof leaks usually occur along valley areas, around plumbing vents, chimneys, dormers and other penetrations through the roof. Water runoff should be diverted away from the structure to prevent damage to the foundation and other structural elements. Runoff must be diverted away from neighboring properties, public sidewalks, alleys and streets to prevent nuisance problems. Two problems that can result from improper water runoff are flooding of basements and standing water or ice buildup on sidewalks, alleys and streets. Drains, gutters and downspouts must be kept in working order so that water runoff is properly diverted.

^{xiv} **305.3 Interior Surfaces.** Interior surfaces, including windows and doors, shall be maintained in good, clean and sanitary condition. Peeling, chipping, flaking or abraded paint shall be repaired, removed or covered. Cracked or loose plaster, decayed wood and other defective surface conditions shall be corrected.

^{xv} **307.1 General.** Handrails and guards required by the applicable building code or which were provided when a building was constructed shall be maintained. Comments - **1015.2 Where Required.** Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

^{xvi} **305.1 General.** The interior of a structure and equipment therein shall be maintained in good repair, structurally sound, and in a sanitary condition. Commentary - The interior of a structure and its equipment must be maintained so as not to adversely affect the occupants' health and safety. A structure must protect occupants from the exterior environment.

^{xvii} **305.3 Interior Surfaces.** Interior surfaces, including windows and doors, shall be maintained in good, clean and sanitary condition. Peeling, chipping, flaking or abraded paint shall be repaired, removed or covered. Cracked or loose plaster, decayed wood and other defective surface conditions shall be corrected.

^{xviii} **307.1 General.** Handrails and guards required by the applicable building code or which were provided when a building was constructed shall be maintained. Comments - **1015.2 Where Required.** Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

^{xix} **305.3 Interior Surfaces.** Interior surfaces, including windows and doors, shall be maintained in good, clean and sanitary condition. Peeling, chipping, flaking or abraded paint shall be repaired, removed, or covered. Cracked or loose plaster, decayed wood and other defective surface conditions shall be corrected. Commentary - Water damage results from leaking roofs, plumbing fixtures and water pipes, and also damaged or open windows and doors that permit rain to enter. Any damaged interior surfaces are required to be repaired and the cause of the damage must be corrected.

304.7 Roof and Drainage. The roof and flashing shall be sound, tight, and not have defects that admit rain. Roof drainage shall be adequate to prevent dampness or deterioration in the walls or interior portion of the structure. Roof water shall be discharged in a manner to protect the foundation or slab of buildings and structures from the accumulation of roof drainage. Commentary - A secure, nonleaking roof is necessary to keep a building properly maintained. Even small leaks can cause thousands of dollars in damage to insulation, plaster, studs and joists. Roof leaks usually occur along valley areas, around plumbing vents, chimneys, dormers and other penetrations through the roof. Water runoff should be diverted away from the structure to prevent damage to the foundation and other structural elements. Runoff must be diverted away from neighboring properties, public sidewalks, alleys and streets to prevent nuisance problems. Two problems that can result from improper water runoff are flooding of basements and standing water or ice buildup on sidewalks, alleys and streets. Drains, gutters and downspouts must be kept in working order so that water runoff is properly diverted.

^{xx} **308.1 Accumulation of Rubbish or Garbage.** The interior of every structure shall be free from excessive accumulation of rubbish or garbage.

702.1 General. A safe, continuous and unobstructed path of travel shall be provided from any point in a building or structure to the public way. Means of egress shall comply with the International Fire Code.

^{xxi} **305.4 Stairs and Walking Surfaces.** Every stair, ramp, landing, balcony, porch, deck or other walking surface shall be maintained in sound condition and good repair.

^{xxii} **304.7 Roof and Drainage.** The roof and flashing shall be sound, tight, and not have defects that admit rain. Roof drainage shall be adequate to prevent dampness or deterioration in the walls or interior portion of the structure. Roof water shall be discharged in a manner to protect the foundation or slab of buildings and structures from the accumulation of roof drainage. Commentary - A secure, nonleaking roof is necessary to keep a building properly maintained. Even small leaks can cause thousands of dollars in damage to insulation, plaster, studs and joists. Roof leaks usually occur along valley areas, around plumbing vents, chimneys, dormers and other penetrations through the roof. Water runoff should be diverted away from the structure to prevent damage to the foundation and other structural elements. Runoff must be diverted away from neighboring properties, public sidewalks, alleys and streets to prevent nuisance problems. Two problems that can result from improper water runoff are flooding of basements and standing water or ice buildup on sidewalks, alleys and streets. Drains, gutters and downspouts must be kept in working order so that water runoff is properly diverted.

^{xxiii} **106.1 General**

This section shall apply to existing structures which are classified as unsafe or unfit for human occupancy. All conditions causing such structures to be classified as unsafe or unfit for human occupancy shall be remedied or as an alternative to correcting such conditions, the structure may be vacated and secured against public entry or razed and removed. Vacant and secured structures shall still be subject to other applicable requirements of this code. Notwithstanding the above, when the code official determines that an unsafe structure or a structure unfit for human occupancy constitutes such a hazard that it should be razed or removed, then the code official shall be permitted to order the demolition of such structures in accordance with applicable requirements of this code.



Ramada Inn Observations Documentation



RAMADA INN

MOSELEYARCHITECTS

SCOPE OF SERVICES

Moseley Architects was hired to visit the property at 380 East Washington Street for the purpose of making observations of the existing site, exterior and interior of the existing building, and existing attached parking deck. The goal of our observations, if applicable, was to identify structural and non-structural deficiencies, damage, deterioration, and/or conditions which, in our opinion, could be classified as current or potential life safety hazards and/or potential code or city ordinance violations. We prepared this documentation which contains the following observations and opinions.

METHODOLOGY

On-site surveys were conducted on November 06, 2020 and January 19, 2021, by a team of licensed professionals at Moseley Architects.

The team for these surveys consisted of multiple disciplines, including licensed Structural Engineers, a licensed Electrical Engineer, and a licensed Architect. The observations were conducted by walking throughout the facility both inside and outside, and documented with notes and/or photographs.

PREMISES



PURPOSE

The City would like to be able to determine the extent of potential violations and/or whether the facility could be classified as “unsafe” in accordance with the 2015 Virginia Maintenance Code (VMC). The City may utilize this Ramada Inn Observation Documentation (RIOD) as additional information and support for compelling the owner to make repairs or to consider demolition of the existing building and parking deck.

EXECUTIVE SUMMARY

The building and surrounding grounds have been, and may continue to be, accessed by the public (e.g., numerous graffiti (including one that appears to be dated in 2019 located in the parking deck) and apparent dumping) and the perimeter fence has at least one opening large enough for individuals to access the property; thus this property could be classified as “unsecured” and therefore, could be deemed as “unsafe” as defined by VMC and the Petersburg City Code (PCC).

- o VMC Section 202 - UNSAFE STRUCTURE. A vacant existing structure unsecured or open shall be deemed to be an unsafe structure.
- o PCC Section 22-143: Unsafe structure shall mean an existing building or other structure which fails to comply with the USBC through damage, deterioration, infestation, improper maintenance, or for other reasons, and which thereby has become unsanitary. All structures which fall within the definition of an unsafe structure, as defined above, are hereby declared to be public nuisances and unfit for human habitation.

Also, if the property is determined as “unsecured,” then there are a number of hazardous conditions both on the site and within the building itself (e.g., improper guards within the parking deck and inside the building at numerous locations); and therefore, could be deemed as “unsafe” as defined by VMC Section 202.

Even if the premises are considered “secured,” there are other VMC and PCC provisions that potentially may be applicable.

- o VMC Section 106.1: Vacant and secured structures shall still be subject to other applicable requirements of this code.
- o VMC Section 301.3: Vacant structures shall be maintained in a clean, safe, secure, and sanitary condition as provided for in the VMC.
- o PCC Section 22-140: A description of the measures that will be taken while the building is vacant to ensure that the property is maintained in compliance with all applicable building and health codes.

It is our understanding that the existing premises do not have continuous utilities (water, power, sanitary, sewer, etc.) serving the property, and while most of the building has been "gutted," some system infrastructure do remain. The facility shows numerous signs of disrepair and neglect. Therefore, this property could be classified as a structure unfit for human occupancy as defined by the VMC and/or PCC.

- o VMC Section 202 - STRUCTURE UNFIT FOR HUMAN OCCUPANCY. An existing structure determined to be dangerous to the health, safety and welfare of the public because of the degree to which the structure is in disrepair or lacks maintenance or other essential equipment.
- o PCC Section 2-196: "Derelict building" shall mean a building or structure that might endanger the public's health, safety, or welfare and for a continuous period in excess of six months, has been (i) vacant, (ii) boarded up in accordance with the building code, and (iii) not lawfully connected to electric service from a utility service provider or not lawfully connected to any required water or sewer service from a utility service provider

The premises are not being *maintained* in accordance with the VMC and PCC.

- o VMC Section 202 - MAINTAINED. To keep unimpaired in an appropriate condition, operation, and continuance as installed, and in accordance with the applicable operational and maintenance provisions of the VMC.
- o PCC Section 22-157: Blighted property shall mean and refer to any property with buildings or improvements which, by reason of dilapidation or obsolescence are detrimental to the safety, health, morals, or welfare of the community. Dilapidation shall mean the condition of property resulting from inadequate maintenance that contributes to unsafe site or building conditions, or that gives the appearance of unsafe site or building conditions.

Based on the preponderance of apparent VMC and PCC violations identified herein or previously identified by the Petersburg code official(s), especially if the premises are determined to be unsecured, it would appear the City should be able to prepare a report in accordance with VMC Section 106.3 demonstrating the existing conditions constitute a hazard to the public.

OBSERVATIONS AND OPINIONS

This section contains photos taken of the existing property with remarks or opinions associated with such photos to support the purpose of this documentation.

Architectural

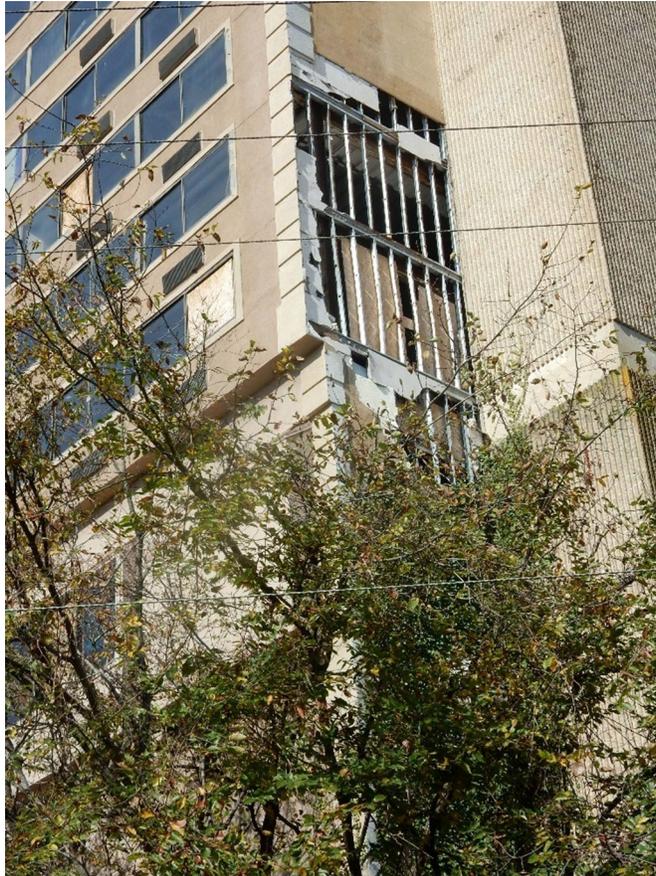
The exterior wall assembly demonstrated numerous locations where water, air, and/or vapor infiltration, along with thermal conductivity appears to be an ongoing issue. Such conditions most likely would allow moisture into the exterior wall assembly and within the interior of the building itself, thus ultimately contributing to the potential failure of the exterior wall assembly and surrounding building components and serve as conditions conducive to the growth of mold and mildew if not remedied and maintained.

Examples of exposed exterior wall assembly



VMC Section 103.2: Buildings, structures and systems shall be *maintained* and kept in good repair in accordance with the requirements of the VMC.

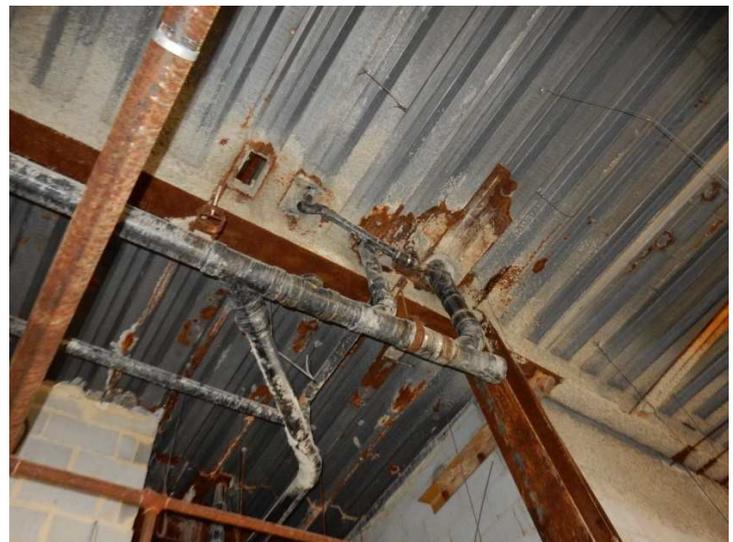
Example of missing exterior veneer



VMC Section 103.2.3: The owner shall maintain all buildings, structures, systems, facilities and associated equipment in compliance with the VMC.

Continued deterioration can potentially cause catastrophic failure, especially if the premises are unsecured.

Examples of deterioration



VMC Section 202 - DETERIORATION. To weaken, disintegrate, corrode, rust or decay and lose effectiveness.

Continued standing water (lack of drainage) can potentially cause infestation of disease-bearing insects and/or vermin.

Examples of infestation (or the potential thereof)



VMC Section 202 - INFESTATION. The presence of insects, rodents, vermin or other pests.

If the premises are determined to be unsecured, such debris can potentially become a hazard to anyone traversing the premises, especially where there is broken glass.

Examples of rubbish



VMC Section 202 - RUBBISH. Combustible and noncombustible waste materials; the term shall include combustible materials, paper, rags, cartons, boxes, wood, excelsior, rubber, leather, tree branches, yard trimmings, tin cans, metals, mineral matter, glass, crockery and dust and other similar materials.

Even though it is our understanding that all utilities, including power, has been shut off, such equipment could still pose a hazard, especially if the premises are determined to be unsecured.

Examples of potentially unsafe equipment



VMC Section 202 - UNSAFE EQUIPMENT. Unsafe equipment includes any boiler, heating equipment, elevator, electrical wiring or device, flammable liquid containers or other equipment that is in such disrepair or condition that such equipment is determined by the code official to be dangerous to the health, safety and welfare of the public.

A possible access point in the perimeter fence.



The parking deck is full of debris and potentially hazardous materials (e.g., broken glass), and if determined to be unsecured, poses a potential hazard to those who access these locations..

Examples of debris in the parking deck



VMC Section 302.3: All parking spaces and similar spaces shall be kept in a proper state of repair and maintained free from hazardous conditions.

Examples of disrepair on the exterior of the building



VMC Section 304.1: The exterior of a structure shall be maintained in good repair, structurally sound, and sanitary so as not to pose a threat to the health, safety, or welfare.

Examples of deteriorating structural members



VMC 304.4: Structural members shall be maintained free from deterioration and shall be capable of safely supporting the imposed dead and live loads.

If the interior is considered unsecured, the openings in the exterior walls pose an imminent hazard to life and safety as one could easily fall through.

Examples of openings within the exterior walls



VMC Section 304.6: Exterior walls shall be free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration.

Continuous ponding of water, without the required maintenance, could ultimately deteriorate the roofing to the point of failure. Also, the vast majority of roofing demonstrated a “softness” of the roof insulation when walking over it, suggesting the underlying insulation was wet and therefore, no longer serving as a thermal barrier.

Example of ponding of water on roof and openings that potentially allow water into interior



VMC Section 304.7: The roof and flashing shall be sound, tight, and not have defects that admit rain. Roof drainage shall be adequate to prevent dampness or deterioration in the walls or interior portion of the structure.

Deteriorating canopy



VMC Section 304.9: Overhang extensions including, but not limited to, canopies . . . shall be maintained in good repair and be properly anchored so as to be kept in a sound condition. Where required, all exposed surfaces of metal . . . shall be protected from the elements and against decay or rust by periodic application of weather-coating materials, such as paint or similar surface treatment.

If the exterior premises are determined to be unsecured, numerous locations of the existing fencing along the perimeter of the parking deck was either loose or incapable of resisting against the required imposed loading, including the wooden and plastic-type “guards” around the “pit” area.

Examples of loose (easily push against them) and/or inadequate guards



VMC Section 304.12: Every . . . guard shall be firmly fastened and capable of supporting normally imposed loads . . .

Examples of window disrepair



VMC Section 304.13: Every window and frame shall be kept in sound condition, good repair and weather tight.

VMC Section 304.13.1: Glazing materials shall be maintained free from cracks and holes.

If the interior premises are determined to be unsecured, there are numerous locations where materials have been removed but the floor openings have not been protected against the potential of falling through, including the main elevator shaft.

Examples of unprotected floor openings





If the exterior premises are determined to be unsecured, there is an entire section of the parking deck that does not have any guards; and elsewhere, has “guards” around the “pit” area that are not capable of sustaining the required imposed loading.

Examples of improper and/or missing guards



VMC Section 307.1: [G]uards required by the applicable building code or which were provided when a building was constructed shall be maintained.

The next grouping of photos potentially demonstrates noncompliance with the cited Petersburg City Code (PCC) section.

Examples of "boarding up" of windows/openings



PCC Section 2-196: "Derelict building" shall mean a building or structure that might endanger the public's health, safety, or welfare and for a continuous period in excess of six months, has been (i) vacant, (ii) boarded up in accordance with the building code, and (iii) not lawfully connected to electric service from a utility service provider or not lawfully connected to any required water or sewer service from a utility service provider.

Examples of debris



PCC Section 50-62: Any condition of any premises which is offensive, unwholesome, unsanitary is hereby declared a nuisance. This includes the keeping or the depositing on, or the scattering over the land or premises of any lumber, trash, junk, and debris.

Example of offensive condition
suggesting possible access between 2016-2021
(photo has been edited to delete two letters)



PCC Section 50-62: Any condition of any premises which is offensive, unwholesome, unsanitary is hereby declared a nuisance.

Example of overgrowth



PCC Section 50-63: The existence of any weeds, bushes, grass or other vegetable matter upon any premises which exceeds a height of 12 inches is hereby declared a nuisance.

Electrical

We were advised there is no active electrical service to the building. Should the premises (either the exterior and/or the interior) be determined to be unsecured, the quantity of potentially operational lighting throughout the parking area/deck do not illuminate the parking area/deck. Many poles had been disconnected and/or removed from their pole bases. Lack of electrical service would indicate there is no egress lighting at points of discharge and also within the building, which would be a violation of VMC Section 702.1. No backup power generation was observed, which would not provide power to fire detection and life safety systems in the event of a normal power outage, as may be required by VMC Section 704.1 if the facility is determined to be unsecured.

The interior electrical distribution system was not operational and has deteriorated over the years. The secondary conductors are not connected and all copper feeders to distribution panels throughout the facility have been removed. There is no operational electrical system within the building. The existing distribution switchboard is rusted and in disrepair.

Examples of electrical system deterioration





VMC Section 604.3: Where it is found that the electrical system in a structure constitutes a hazard to the occupants or the structure by reason of deterioration or damage or for similar reasons, the code official shall require the defects to be corrected to eliminate the hazard.

Other potential violations of the 2015 Virginia Maintenance Code (VMC) as they relate to the observable *exterior and interior* electrical systems, especially if the premises are determined to be unsecured, include:

- Section 605.1 Electrical Components
 - Electrical equipment, wiring, and appliances shall be *maintained* in accordance with the *applicable building code*.
- Section 605.2: Power Distribution and receptacles
 - Required or provided power circuits and receptacles shall be *maintained* in accordance with the code under which constructed and ground fault and arc-fault circuit interrupter protection shall be provided where required by the code in effect at the time of construction.
- Section 605.3: Lighting Distribution and luminaires
 - Required or provided lighting circuits and luminaires shall be *maintained* in accordance with the *applicable building code*.
- Section 704.1: Fire Protection Systems – General
 - Systems, devices, and equipment to detect a fire, actuate an alarm, or suppress or control a fire or any combination thereof shall be *maintained* in an operable condition at all times.

Structural

The parking deck construction, consisting of a structural steel frame with concrete slab on composite steel deck, is susceptible to corrosion due to exposure to the elements if not properly and routinely maintained. In many areas, the protective paint and primer on steel components were observed to have peeled away from the steel surfaces. In several of these cases, significant corrosion was observed as described within this report.

Numerous openings and pathways for water to enter the building were observed as noted in the Architectural Observations. Structural elements within the building, and especially located within the exterior wall system, are unlikely to have exterior rated protective coatings, making them especially susceptible to corrosion when exposed to water or other weathering elements. Multiple instances of deterioration were observed inside the building, as described within this document.

The corrosion observed in the parking decks and interior building structure may impact the load carrying capacity of the structural elements. Additionally, long term exposure to water infiltration and exposure to the elements will lead to further deterioration.

Potential violations of the 2015 Virginia Maintenance Code (VMC) as they relate to observed exterior and interior structural components are:

- Section 304.1: General
 - o The exterior of a structure shall be maintained in good repair, structurally sound, and sanitary so as not to pose a threat to the health safety, or welfare.
- Section 304.4: Structural Members
 - o Structural members shall be maintained free from deterioration, and be capable of safely supporting the imposed dead and live loads.
- Section 304.5: Foundation Walls
 - o Foundation walls shall be maintained plumb and free from open cracks and breaks and shall be kept in such condition so as to prevent the entry of rodents and other pests.
- Section 304.6: Exterior Walls
 - o Exterior walls shall be free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration.
- Section 305.1: General
 - o The interior of a structure and equipment therein shall be maintained in good repair, structurally sound, and in a sanitary condition.

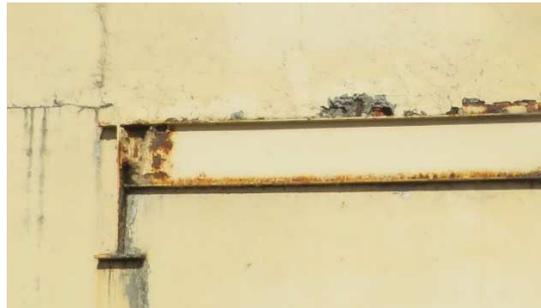
- Section 305.2 Structural Members
 - Structural members shall be maintained structurally sound, and be capable of supporting the imposed loads.

Partially demolished canopy structure



At the West end of the building, part of a partially demolished canopy remains standing. This framing was likely not intended to be exposed and does not appear to have an exterior-rated coating. The original framing was likely a series of cantilevered beams, each supported by two columns. Four beams remain which have each been cut off at the column nearest the building, such that the cantilevered part of the beams remain supported by only one column each. The beam nearest the front of the building appears to have rotated from level. Portions of concrete deck appear to be unsupported and display significant amounts of deflection. The remaining construction is partially over an entry walkway, and also serves as the support structure for the floor and roof of the Chlorine room. This construction may not be at imminent risk of collapse but could be considered an unstable condition.

Examples of deterioration of the Parking Deck – perimeter structure



Significant corrosion is visible on the structural steel beams and ends of supporting girders along the perimeter, including the beam-to-girder connections. Beams and girders at the west end are partially encased in the cast-in-place concrete wall. The corrosion of this steel due to exposure to the elements and associated rust expansion has caused damage to the concrete wall. Concrete has spalled above the 2nd level beam and cracking has developed adjacent to the top of the girder.

Examples of deterioration of the Parking Deck – slab edge



Corrosion is visible at the edge of the parking deck slab along much of the perimeter, where the slab edge angle meets the top flange. In several areas, vegetation is growing along the slab edge and on the beams. Closer observations of these elements was limited without a lift or tall ladder, thus the extent of the damage to these structural elements could not be determined.

Example of deterioration of the Parking Deck – column base



Concrete at the base of column has cracked and spalled, exposing the base plate and anchor bolts to water infiltration and potentially ponding. Discoloration indicates corrosion may be occurring beneath the remaining concrete; however, the level of corrosion was not observable.

Examples of deterioration of the Parking Deck – corrosion of beam flanges



In several locations, significant corrosion including delamination of the top and/or bottom flanges of steel beams was observed. Deterioration of this nature and extent can significantly impact the structural load carrying capacity of the beam.

Examples of deterioration of the Parking Deck –
composite steel floor deck



Significant corrosion and loss of section of steel floor deck was observed in multiple locations. In several of these instances, the deck had deteriorated such that the concrete was visible from below. The existing steel floor deck appears to be composite-type. This type of deck acts as steel reinforcement to resist the tensile stresses at the bottom of the slab. Where the steel floor deck has deteriorated, significant loss of load carrying capacity can be expected.

Example of deterioration of the Parking Deck – beam deterioration



Bottom flange has separated from beam for approximately 1/3 of the span. Significant corrosion was observed at the top flange of this beam and in the adjacent steel floor deck and girder. The load carrying capacity of the structure in this area is significantly diminished from its original condition.

Examples of deterioration of the Parking Deck – beam deterioration



Corrosion has resulted in full-thickness loss of section in several locations along the beam. Significant corrosion was observed at the top flange of this beam and adjacent steel floor deck. The load carrying capacity of the structure in this area is significantly diminished from its original condition.



Corrosion has resulted in loss of section of bottom flange at a cantilevered beam connection to the top of the column. Peeling of paint and discoloration from corrosion below the paint was observed. Reduction of load carrying capacity is likely at this location.

Example of deterioration of the Parking Deck – paint and primer



Peeling of paint and primer on steel floor deck, beams, and columns observed in several locations. While no corrosion was noted in these areas at the time of observation, continued exposure to the elements could result in future corrosion.

Examples of deterioration of the Parking Deck – deck repair



Corrosion of the steel floor deck has resulted in loss of a complete deck flute across two spans. The adjacent deck flute at each span has broken away from the beam support. Concrete above appears to have been removed and replaced. The steel deck at the apparent repair does not appear to have been repaired nor replaced, and the concrete appears to have been poured on top of a white tarp-like material. This material does not appear to be structural in nature, and it is not apparent if reinforcing was added in the concrete patch. Thus, the structural capacity of this condition is unlikely to be adequate for the required loading.

Example of deterioration of the Parking Deck –
steel beam bearing at concrete



In several locations, significant concrete spalling was observed at steel beam bearing locations, exposing part of the beam bearing plate and anchor studs. The load carrying capacity of this condition is significantly reduced. In some of these locations, significant concrete spalling above the beam in the concrete barrier was observed. The capacity of the concrete barrier is likely significantly reduced.

Example of deterioration of the Parking Deck – pipe penetration



Corrosion was observed in steel deck at a vertical drainpipe penetration. Deterioration was noted around the cut opening, and no supplemental framing to support the interrupted steel deck was observed.

Example of deterioration of the Building – façade openings



In several locations, openings of various sizes were observed in the building façade. Although this presents a direct path for water to enter the building, little to no corrosion was observed in the observable steel framing at the time of observations.

Example of deterioration of the Building – stair landing



At the West stair landing leading to the lower floors, corrosion in the steel stair pan appears to have resulted in significant loss of section. Load carrying capacity of this landing may be reduced.

Example of deterioration of the Building – standing water



At the lower basement level, standing water was observed on the floor in several locations. Standing water may lead to corrosion of steel column base plates and other structural components.

Example of deterioration of the Building – fireproofing damage



At the lower basement level, fireproofing has detached from steel beams in several locations. Fire rating of structure may be impacted.

Example of deterioration of the Building – elevator pit



At the East elevator, an indeterminate amount of standing water was observed at the base of the service elevator. Standing water may cause corrosion to elevator and other components in the pit area.

Example of deterioration of the Building – steel floor deck corrosion



Significant corrosion was observed in the steel floor deck near the East elevator. Similar corrosion was observed at all floors where the deck was observable and exposed to view. In these instances, the deck has deteriorated such that the concrete is visible from below. The existing steel floor deck appears to be composite-type. This type of deck acts as steel reinforcement to resist the tensile stresses at the bottom of the slab. Where the steel floor deck has deteriorated, significant loss of load carrying capacity can be expected.

Example of deterioration of the Building – basement



At the lower basement level, several extensive areas of apparent water damage and mold were observed at the interior gyp board furring against the basement foundation wall. It is unclear whether the water may be migrating through the concrete foundation wall, coming up from the floor, and/or making its way down from an upper level.

Examples of deterioration of the Building – pipe penetrations



In several locations on each floor where the steel deck was observable, multiple pipe penetrations within close proximity to one another were observed to penetrate the floor. At these locations, multiple adjacent flutes of steel deck were penetrated, and no supplemental framing was observed to support the interrupted deck. Also, at these locations, significant corrosion of the steel floor deck was observed. In several instances, the deck has deteriorated such that the concrete is exposed to view. The load carrying capacity of the floor deck at these locations may be significantly reduced.

Example of deterioration of the Building – Chlorine Room



At the Chlorine Room, off of the West stair, the floor appears to have moved away from the building. This may be due to movement caused by the partial demolition of the canopy described earlier in this document.

Examples of deterioration of the Building – steel floor deck corrosion



At several locations on several floors, corrosion and deterioration of steel floor deck was observed near single pipe penetrations. This deterioration may result in loss of structural load carrying capacity of the floor.



At several locations on several floors, corrosion of steel floor deck was observed at the top of floor beams and trusses. Continued corrosion may lead to deterioration of the floor and beams, which in turn may lead to loss of load carrying capacity.

Examples of deterioration of the Building –
steel beam and column corrosion



At several locations on several floors, corrosion of steel beams and columns was observed. This corrosion appears to have caused surface deterioration of the beam and column webs and flanges.

Example of deterioration of the Building – truss gusset plate



Gusset plate of floor truss has been damaged. This may result in reduced load carrying capacity at this location.

Example of deterioration of the Building – steel floor deck damage



Section of steel floor deck is missing, and a portion of the concrete floor appears to be separated from the rest of the concrete. Load carrying capacity of this section of floor is likely significantly reduced.

Examples of deterioration of the Building – upper floor walls and ceilings



At the upper floor levels, where internal demolition was not completed, several extensive areas of apparent water damage and mold were observed at the interior demising walls and ceilings. Exposure of the floor trusses inside the walls and above the ceilings to moisture may lead to corrosion and deterioration.

Example of deterioration of the Building – roof deck



Corrosion was observed on the underside of the steel roof deck in several areas, indicating potential water infiltration of the roofing materials above. Continued corrosion may lead to deterioration and loss of material in the deck.

BACKGROUND

380 E. Washington St. was an attempt to revitalize a property that has been dormant or declining for several years. Built in 1973, the hotel originally was a Ramada Inn. It has switched names several times, most recently when it converted to Fort Lee Regency in 2010. The hotel closed in 2012 and was owned by the city, but was sold to C.A. Harrison Companies for \$750,000, the sale was signed March 30, 2018 and closed April 2, 2018. It has since sat dormant. The original hotel:



1973 – The hotel building at 380 E Washington Street was constructed and opened as a Ramada Inn. The 9-story steel frame building totals 86,985 square feet on a 2.32-acre parcel.

6/4/1998 – The property was purchased by Petersburg Regency, LLC.

2012 – The building closed and ceased operation as a hotel.

6/30/2014 – The City of Petersburg purchased the building in a tax sale for \$176,745, the amount of delinquent taxes owned on the property.

8/6/2015 – The City received a Letter of Intent from CA Harrison Co. to purchase the property for \$500,000.

12/22/2015 – Groundbreaking ceremony held by Chris Harrison and members of council.



12/23/2015 – Officials announced plans to redevelop 380 E. Washington Street as Maryland-based developer C.A. Harrison Companies, LLC was selected to develop the site into a hotel-anchored mixed-use development, complete with apartments, retail and office space and a restaurant. The proposed project budget was between \$20 to \$25 million, and the project was initially projected to be completed in mid-2017.

04/05/2016 – Following a Public Hearing, the City Council adopted 16-Ord-16 the disposition of the properties located at 326, 380 and 400 E. Washington St. further identified as tax parcels 012-330010, 012-290001 and 012-290002.

08/17/2016 – Following a Public Hearing, the City Council adopted 16-Ord-33, to adopt the Tourism Development Plan Developed in conjunction with the Commonwealth of Virginia's Tourism Development Financing Program, to endorse a proposed tourism project (the hotel project at 380 E Washington St proposed by CA Harrison Co.), and to authorize other actions consistent with State Tourism Gap Financing.

9/1/2016 – City awarded \$600,000 loan through the Virginia Industrial Revitalization Fund program for the hotel development project (funding was not used for the project).

8/7/2017 – City executed Virginia Brownfields Restoration and Economic Redevelopment Assistance Fund (VBAF) grant agreement totaling \$350,000, of which \$275,000 was spent to abate lead and asbestos found in the building during an Environmental Assessment conducted by the Developer.

9/23/2017 – City was informed by the Virginia Tourism Corporation that the Tourism Plan was not approved and the requested gap financing for the hotel project would not be available.

04/02/2018 - The property known as 380 E Washington Street was sold to Virginia Hotel Development Group LLC.

05/07/2018 - The C.A. Harrison Companies, LLC applied for the Zone 10 Central Business District Enterprise Zone. Christopher Harrison signed as the applicant and as the owner and noted he is also a Managing Member of the mentioned LLCs. It was stated on this application that Phase I of development would start in June 2019, and there would be two additional phases to complete this project.

04/16/2019 – Richmond BizSense reported E-Comm, LLC filed suit against C.A. Harrison Companies for non-payment of interior demolition and asbestos remediation. Included in the lawsuit is Commonwealth Architects suing Harrison's companies for unpaid services related to the project. Renderings of the projected development are below.

From Richmond Bizsense:

“As a Richmond architecture firm keeps up its legal fight against the developer behind a delayed hotel rehab in Petersburg, a second lawsuit likewise alleging nonpayment on the project has been filed by another area business. E-Com LLC, a Midlothian-based engineering consulting firm, filed suit last month against C.A. Harrison Cos. and other parties involved in the planned redevelopment of the former Ramada Inn along Interstate 95, alleging it is owed the bulk of a \$450,000 contract for interior demolition and asbestos remediation. The suit, filed March 20 in Petersburg Circuit Court, seeks a judgment of more than \$1 million, further alleging that company principal Chris Harrison and others conspired in a scheme to defraud state agencies that awarded the project grant funds and to damage E-Com's reputation while benefiting from its work.”

Ramada Inn Observations Documentation
380 East Washington Street, Petersburg, VA 23803



05/08/19 – From the Progress – Index:

“Chris Harrison might have not had too much to say recently about the former Ramada Inn property he owns, but when he showed up at Tuesday’s City Council meeting, councilors were anything but silent with their frustrations about progress on what is perceived as an eyesore on Interstate 95. The emotions they showed ranged from frustration over lack of communication about the project’s progress to questioning why it fell down the list of Harrison’s priorities. One councilor even noted how the property has become part of the upcoming 16th Senate District Democratic primary.”

10/16/2019 – Code mailed a certified Notice to Secure and an NOV to the Virginia Hotel Development Group LLC. Neither notice received a response.

10/31/2019 – The Fire Marshal hand-delivered an Official Notice to the contractor on site, Richard Miller, ordering the occupant and owner C.A. Harrison Companies LLC, C.A. Harrison to remove loose materials that could endanger life or damage property, and to properly secure the entire building and lot to prevent entry. This order was partially followed.

11/01/2019 – CBS 6 reported on loose materials falling off. Per CBS 6:

“Petersburg Mayor Sam Parham says he and City Council are tired of the lack of progress in renovating the old Ramada Inn, a shuttered hotel between East Washington and Wythe streets, just west of I-95. On Thursday, CBS 6 reported Petersburg Fire Department and the Fire Marshal’s Office responded to the vacant hotel after a citizen spotted a piece of the hotel dangling. Officials said an estimated 24 feet long by 10 feet wide piece eventually fell in some trees below. Petersburg Fire Marshal Jim Reid even expressed safety concerns about unsecured pieces on the building.”

12/03/2019 – Code mailed a new certified NOV and posted a copy to the property as a second attempt to make contact and gain compliance. This notice received a response 40 days after posting.

01/07/2020 – The Fire Marshal, with the assistance of the Code Office, took out six criminal summons for Chris A. Harrison.

01/13/2020 – Code received a phone call from Chris Hanna, a business partner of Mr. Harrison. He stated they never received any of the previous notices but did receive the copy left on site and wanted to discuss a plan to bring the property into compliance. Mr. Hanna stated he wanted to develop a plan to bring the hotel into compliance. However, completing all items on the inspection report would not be possible until they began construction. Shortly after, Mr. Hanna stated he was unable to convince Chris Harrison to make the discussed minimal repairs.

The Progress-Index reported Harrison had lost funding sources for the project and has called out the city for the summonses taken out and its potential to further stall the project. From the Progress-Index on the same day, 01/13/2020:

“The owner of the former Ramada Inn property has called the city “hypocritical” for issuing summonses against him, saying Petersburg is not advancing progress on the project by singling him out in public as a focal point of blight. In an interview with The Progress-Index last week, Chris Harrison blamed much of the lack of advancement on the old high-rise building on losing funding sources for the project. While he is confident that he can replace those funding sources, Harrison said publicity generated over the former hotel is not helping matters.”

01/23/2020 – An unofficial quote to demolish the old hotel was sought to weigh all options for compliance. The amount proposed was \$900,000. This was only an estimate and was based on what was viewable from the exterior of the building and previous findings from an inspection several years prior.

From: Stephen McCloud
Sent: Thursday, January 23, 2020 4:10 PM
To: jhines@petersburg-va.org
Subject: Washington St Hotel (Old Ramada Inn)

Howie,

A budget number to demolish and dispose of the Old Ramada Inn located on Washington Street in Petersburg would be \$900,000.00.
Price would vary depending on current condition compared to our last visit a few years ago and how the site would need to be finished.

Let me know if you have any questions or if you would like to schedule a visit to firm up any numbers.

Thanks,

[Steve](#)

[Stephen V. McCloud](#)
President

02/24/2020 – Code mailed a certified and a standard updated NOV with civil fines to Virginia Hotel Group LLC, Christopher A. Harrison, C.A. Harrison Companies LLC. Thomas Williams signed for the mail and the green card was returned. We also posted the notice to the hotel's property.

04/23/2020 – Code mailed a certified and standard first round of civil fines to Virginia Hotel Group LLC, Christopher A. Harrison, and C.A. Harrison Companies LLC, for \$1000.00. The returned green card was signed by 1626 C19.

05/08/2020 – Economic Development went to Washington DC to meet with Chris Harrison and Chris Hanna and began discussing their options with the Ramada. Hanna requested a moratorium on the civil penalties.

05/11/2020 – After no response or payment, Code mailed a certified and standard second round of civil fines to Virginia Hotel Group LLC, Christopher A. Harrison, and C.A. Harrison Companies LLC, totaling \$2,500.00 due. The Postal Service confirmed delivery on May 14.

05/22/2020 After no response or payment, Code mailed a certified and standard third round of civil fines to Virginia Hotel Group LLC, Christopher A. Harrison, and C.A. Harrison Companies LLC., totaling \$4,000.00 due. The returned green card was signed by Barbara (last name not legible).

6/15/2020 – Code received payment for the current civil penalties, in full. With this payment, it was agreed Harrison would receive 30 days of no civil penalties and in return, he would provide Economic Development with a conceptual plan for market-rate apartments at the old Ramada site by 7/15. This deadline was missed.

7/24/2020 – Harrison continued promising he had plans in the works that were almost complete. Code continued to hold on issuing civil penalties for the moment.

08/03/2020 - Harrison has now refused to send any documents showing he has begun any preliminary planning or made conceptual drawings. Code was directed to begin civil penalties again. Code mailed a certified and standard fourth round of civil fines to Virginia Hotel Group LLC, Christopher A. Harrison, and C.A. Harrison Companies LLC., totaling \$1,500.00.

08/13/2020 - After no response or payment, Code mailed a certified and standard fifth round of civil fines to Virginia Hotel Group LLC, Christopher A. Harrison, and C.A. Harrison Companies LLC., totaling \$3,000.00 due.

08/25/2020 - After no response or payment, Code mailed a certified and standard sixth round of civil fines to Virginia Hotel Group LLC, Christopher A. Harrison, and C.A. Harrison Companies LLC., totaling \$4,500.00 due. Code will continue issuing civil fines.

09/11/2020 – The Economic Development Director has reached out to Mr. Harrison by email for any updates relating to the proposed market rate apartments.

“Good afternoon Chris,

I know it's been awhile since our last communication, but I wanted to follow up again to see if you were still interested in creating a market rate apartment building at the Hotel. I still feel it's a good play and would be a great addition to the market.

Please advise this coming week if there is any interest on moving forward.

Best regards,

Carthan”.

Signed:

Bradley Shupp, Property Maintenance Official

Carthan Currin, Economic Development Director

Frank Poulin, Neighborhood Services Director

Kelly Evko, Assistant to the City Manager

John ‘Howie’ Hines, Building Maintenance Official

Reginald Tabor, Interim Director of Planning and Community Development

Cc: Lionel D. Lyons, Deputy City Manager for Development and Operations

To summarize - if the property can be accessed and is not secured against public entry (regardless of the “No Trespassing” signs), there are numerous locations throughout the property that could lead to potentially serious injuries to those who access such locations, including, pedestrians, drivers, utility workers, and/or first responders - until and unless such acceptable remediation is achieved. If the property were considered secured against public entry and because the property does not have any active utilities, it is possible that if the property needed to be accessed by emergency first responders, the potential exists where such responders could be seriously injured as a result of the condition of the property in certain locations.

END OF DOCUMENT



CITY OF PETERSBURG

PLANNING & COMMUNITY DEVELOPMENT

CODE COMPLIANCE DIVISION

106 W. TABB STREET, PETERSBURG, VIRGINIA 23803
PHONE (804) 733-2409 FAX (804) 863-2780 TDD (804) 733-3008

EXTERIOR HOUSING REPORT

Location: 380 E Washington Street

Property Owner: Virginia Hotel Development Group LLC, and/or
Christopher A. Harrison, and/or C.A. Harrison
Companies LLC

Property Owner Address: 5301 Westbard Circle, Ste 147, Bethesda, MD 20816

Parcel ID: 012-290001

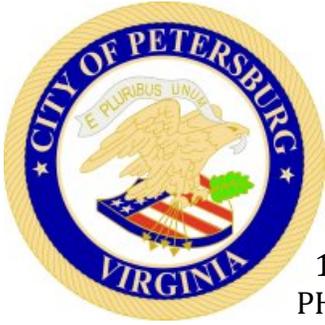
Exterior Code Section	Compliance	Inspectors Remarks	Fines
1. Grading and Drainage			
2. Rodent Harborage			
3. Accessory Structures			
4. Protective Treatment			
5. Street Number			
6. Structural Members	No	Structural beams or load bearing walls are rotting or damaged. These will need to be repaired or replaced. 304.4	\$150.00
7. Foundation Walls			
8. Exterior Walls			
9. Roofs and Drainage			
10. Decorative Features	No	Decorative features around home are rotting, missing or broken. These will need to be repaired or replaced. 304.8	\$150.00
11. Overhang Extensions	No	Structures overhang extensions are rotting, broken or missing components. These will need to be repaired or replaced. 304.9	\$150.00
12. Stairs/Walking Surf.			
13. Stairways, Decks, Porches, and Balconies	No	Porch roof, stairs, deck boards or supports are rotting, missing or broken. These will need to be repaired or replaced. 304.10	\$150.00
14. Chimneys and Towers	No	Chimneys, cooling towers, smokestacks, and similar appurtenances are being maintained structurally safe and sound, or good repair.	\$150.00

		Exposed surfaces of metal or wood shall be protected from the elements and against decay or rust. 304.11	
15. Handrails and Guards			
16. Windows			
17. Doors	No	Doors around home are not properly fitted, locked damaged, or missing. These will need to be repaired or replaced. 304.15	\$150.00
18. Basement Hatchways			
19. Rubbish or Garbage	No	Property is littered with rubbish or garbage. Lot will need to be cleared 50-62	\$150.00
20. Sidewalks and Driveways	No	Sidewalks, walkways, stairs, driveways, parking spaces, and/or similar spaces are not free from hazardous conditions. 302.3	\$150.00
21. Glazing	No	Glazing materials shall be maintained free from cracks and holes. 304.13.1	\$150.00
22. Building Security	No	Devices designed to provide security for the occupants and property within are not being maintained and/or have been removed without approval. 304.18	\$150.00
23. Graffiti	No	Structure is painted with graffiti and this has been determined to be a nuisance, which is causing substantial diminution in the value to the property in the neighborhood. Sec. 50-61, Sec. 50.62	
Total			\$1,500.00

Inspector: Brad Shupp

Inspection Date: 03/01/2020





CITY OF PETERSBURG

NEIGHBORHOOD SERVICES CODE COMPLIANCE DIVISION

1340 E WASHINGTON STREET, PETERSBURG, VIRGINIA 23803
PHONE (804) 733-2409 FAX (804) 863-2780 TDD (804) 733-3008

INTERIOR HOUSING REPORT

Location: 380 E Washington Street

Property Owner: Virginia Hotel Development Group LLC, and/or Christopher A. Harrison, and/or C.A. Harrison Companies LLC

Property Owner Address: 5301 Westbard Circle, Ste 147, Bethesda, MD 20816

Parcel ID: 012-290001

Structure	Compliance	Inspectors Remarks	Pending Fines
1. Structural Members	No	<p>305.2 Structural Members</p> <p>Structural members shall be maintained structurally sound, and be capable of supporting the imposed loads.</p> <p><u>Sublevel 2</u></p> <ul style="list-style-type: none"> Beam at north east corner had large amounts of scaling surface rust. 	\$100
2. Interior Surfaces	No	<p>305.3 Interior Surfaces</p> <p>Interior surfaces, including windows and doors, shall be maintained in good, clean and sanitary condition. Peeling, chipping, flaking or abraded paint shall be repaired, removed or covered. Cracked or loose plaster, decayed wood and other defective surface conditions shall be corrected.</p> <p><u>First Floor</u></p> <ul style="list-style-type: none"> The interior south east corner wall has been completely gutted. There are clear signs water has been allowed to enter this area from the damaged facade. 	\$5,300

- A leak from an unknown source is present at the landing of the open staircase. Water can be seen pooling in that location and just above in the ceiling water drops were witnessed falling.

Second Floor

- Door leading to pool deck – The painted surface has been damaged, and signs of rust are present.
- Mechanical room for pool Interior walls are showing signs of deterioration and corrosion.
- Pool pump area – Ceiling has collapsed.
- Water was found pooling on floor near east side of building. Source unknown. Surrounding construction debris was wet as a result.
- Elevator shaft wall was open approximately 1’x2’

Third Floor

- Boards over broken windows have been removed.
- **Support beam 2** - holes in concrete, various sizes up to 1’x2’. These holes are uncovered and not marked.
- **Support beam 3** - holes in concrete, various sizes up to 1’x2’. These holes are uncovered and not marked.
- **Support beam 4** - holes in concrete, various sizes up to 1’x2’. These holes are uncovered and not marked.
- **Support beam 6** - holes in concrete, various sizes up to 1’x2’. These holes are uncovered and not marked.
- **Support beam 7** - holes in concrete, various sizes up to 1’x2’. These holes are uncovered and not marked.
- South East corner of building has been demolished to the extent that the interior and exterior walls are no longer present. No guards are present to prevent a fall.
- Support beams are showing signs of deterioration where interior and exterior walls were removed.

- Steel framing is showing signs of deterioration where interior and exterior walls were removed.
- Ceiling at east end of building is showing signs of deterioration.

Fourth Floor

- South East corner of building has been demolished to the extent that the interior and part of the exterior wall are no longer present. No guards are present to prevent a fall.

Fifth Floor

- **Support beam 13** - holes in concrete, various sizes up to 1'x2'. These holes are uncovered and not marked.
- **Support beam 8** - holes in concrete, various sizes up to 1'x2'. These holes are uncovered and not marked.
- **Support beam 6** - holes in concrete, various sizes up to 1'x2'. These holes are uncovered and not marked.
- **Support beam 3** - holes in concrete, various sizes up to 1'x2'. These holes are uncovered and not marked.

Sixth Floor

- 601 - Large uncovered hole in wall.

Seventh Floor

- The plywood at the window on west facing wall near stairwell has been removed. There is no protection from falling outside.
- Hallway - There is a black/grey/tan organic growth on the walls.
- 706 - There is a black/grey/tan organic growth on the walls.
- 708 - There is a black/grey/tan organic growth on the walls.
- 712 - There is a black/grey/tan organic growth on the walls.
- 721 - There is a black/grey/tan organic growth on the walls.
- 723 - There is a black/grey/tan organic growth on the walls.

Eighth Floor

- 722 - There is a black/grey/tan organic growth on the walls.
- 721 - There is a black/grey/tan organic growth on the walls.
- 719 - There is a black/grey/tan organic growth on the walls.
- 715 - There is a black/grey/tan organic growth on the walls.

Western Stairwell Between Levels 8 & 9

- Concrete masonry block is separating. Sunlight is visible in stairwell.

Ninth Floor

- There are holes in concrete, various sizes up to 1'x2'. These holes are uncovered and not marked.
- There is a black/grey/tan organic growth on the walls.

Roof

- Door to roof is not secure.
- Roof was pooling water in various locations. In most of those locations the roof was soft and spongy
- The guest elevator service door was not secure.
- A plant was found to have grown from the roof in a foam like material.

Sublevel 1

- Incomplete demolition on interior walls has left sharp metal and other materials protruding into cluttered walkways.
- Incomplete demolition on interior ceilings has left sharp metal and other materials protruding into cluttered walkways.
- Water was found pooling on floor near north side of building. Surrounding construction debris was wet as a result.

Arboretum

		<ul style="list-style-type: none"> • Rear glass door has been shattered. <p><u>West Stairwell Sublevel 1 and 2</u></p> <ul style="list-style-type: none"> • Paint on walls are peeling and flaking. • Landing at Sublevel 1 is rusted. Visible between floors. <p><u>Sublevel 2</u></p> <ul style="list-style-type: none"> • Large amounts of water were found pool just outside the west side stairwell. • Large amounts of water were also found in the room at the south west corner of the building. • Walls in room located on south west side were damp and an organic growth appeared to be present. • Various tiles are missing from the drop down ceiling. • Service elevator – The painted surface has been damaged, and rust is present. • Service elevator doors are open with no acceptable guard present. Estimated fall – 25’. 	
3. Handrails and Guards	No	<p>307.1 General</p> <p>Handrails and guards required by the applicable building code or which were provided when a building was constructed shall be maintained.</p> <p><u>First Floor</u></p> <ul style="list-style-type: none"> • There is no safety fence and or incomplete guards at the demolished pool deck. • Existing guard rails around pool deck are showing signs of peeling and flaking paint, rust is present. <p><u>Third Floor</u></p> <ul style="list-style-type: none"> • Part of the walls around the elevator shaft have been demolished. Inadequate guards or no guards are present. 	\$600

		<p><u>Fifth Floor</u></p> <ul style="list-style-type: none"> Eastern wall of the elevator shaft was demolished. Inadequate guards installed. <p><u>Ninth Floor</u></p> <ul style="list-style-type: none"> Part of the walls around the elevator shaft have been demolished. No guards are present. <p><u>Sublevel 1</u></p> <ul style="list-style-type: none"> The open staircase leading from the 1st floor to sublevel 1 is missing a portion of the handrails. 	
4. Interior Doors			
5. Rubbish or Garbage	No	<p>308.1 Accumulation of Rubbish or Garbage</p> <p>The interior of every structure shall be free from excessive accumulation of rubbish or garbage.</p> <p><u>First Floor</u></p> <ul style="list-style-type: none"> Incomplete demolition cleanup. Drywall, carpet, HAVC, scaffolding, metal is preventing a clear unobstructed path to exit. <p><u>Second Floor</u></p> <ul style="list-style-type: none"> Excessive demolition debris is present. <p><u>Fourth Floor</u></p> <ul style="list-style-type: none"> Excessive demolition debris is present. <p><u>Fifth Floor</u></p> <ul style="list-style-type: none"> Excessive demolition debris is present. <p><u>Sixth Floor</u></p> <ul style="list-style-type: none"> Hallway - Excessive demolition debris is present. 600 - Excessive demolition debris is present. 601 - Excessive demolition debris is present. 	\$3,500

- 603 - Excessive demolition debris is present.
- 605 - Excessive demolition debris is present.
- 606 - Excessive demolition debris is present.
- 607 - Excessive demolition debris is present.
- 608 - Excessive demolition debris is present.
- 609 - Excessive demolition debris is present.
- 614 - Excessive demolition debris is present.

Seventh Floor

- Hallway - Excessive demolition debris is present.
- 700 - Excessive demolition debris is present.
- 701 - Excessive demolition debris is present.
- 702 - Excessive demolition debris is present.
- 703 - Excessive demolition debris is present.
- 704 - Excessive demolition debris is present.
- 706 - Excessive demolition debris is present.
- 708 - Excessive demolition debris is present.
- 709 - Excessive demolition debris is present.
- 710 - Excessive demolition debris is present.
- 711 - Excessive demolition debris is present.
- 712 - Excessive demolition debris is present.
- 719 - Excessive demolition debris is present.
- 721 - Excessive demolition debris is present.
- 723 - Excessive demolition debris is present.

		<p><u>Eighth Floor</u></p> <ul style="list-style-type: none"> • Hallway - Excessive demolition debris is present. • 820 - Excessive demolition debris is present. • 805 - Excessive demolition debris is present. • 803 - Excessive demolition debris is present. <p><u>Ninth Floor</u></p> <ul style="list-style-type: none"> • Excessive demolition debris is present. <p><u>Arboretum</u></p> <ul style="list-style-type: none"> • Excessive debris is present. 	
LIGHT/VENTILATION			
1. Habitable Space			
2. Common Hall			
3. Bathroom			
PLUMBING			
1. Plumbing Fixtures	No	<p>504.1 General</p> <p>Required or provided plumbing systems and facilities shall be maintained in accordance with the applicable building code.</p> <p><u>Second Floor</u></p> <ul style="list-style-type: none"> • Pipes attached to hvac unit in pool pump area have rusted creating a safety hazard. 	\$100
2. Privacy			
3. Water heater			
4. Sanitary Drainage			
MECHANICAL/ELECTRICAL			
1. Heating/ Cooling			
2. Flue/Clearances			
3. Service Box	No	<p>604.3 Electrical System Hazards</p> <p>Where it is found that the electrical system in a structure constitutes a hazard to the occupants or the structure by reason of deterioration or damage or for similar reasons, the code official shall require the defects to be corrected to eliminate the hazard.</p>	\$400

		<p><u>Sixth Floor</u></p> <ul style="list-style-type: none"> Panel in closet by elevator is uncovered and has been stripped. Wires are unprotected. <p><u>Sublevel 2</u></p> <ul style="list-style-type: none"> Many components to the panel boxes were removed. Large amounts of corrosion were present on the exterior of the boxes. Uncovered and unprotected electrical lines. 	
4. Electrical Equipment			
5. Receptacles			
6. Lighting Fixtures			
FIRE AND SAFETY			
7. Smoke Detectors			
8. Doors	No	<p>702.3 Doors</p> <p>Means of egress doors shall be maintained and, to the extent required by the code in effect at the time of construction, shall be readily openable from the side from which egress is to be made without the need for keys, special knowledge, or effort.</p> <p><u>First Floor</u></p> <ul style="list-style-type: none"> A door labeled “Fire Door”, has been screwed shut, preventing exit. 	\$100
9. Means of Egress	No	<p>702.1 General</p> <p>A safe, continuous and unobstructed path of travel shall be provided from any point in a building or structure to the public way. Means of egress shall comply with the International Fire Code.</p> <p><u>First Floor</u></p> <ul style="list-style-type: none"> Incomplete demolition cleanup. Drywall, carpet, HAVC, scaffolding, metal is preventing a clear unobstructed path to exit. <p><u>Second Floor</u></p> <ul style="list-style-type: none"> Demolition debris is preventing a clear unobstructed path to exit. <p><u>Fourth Floor</u></p> <ul style="list-style-type: none"> Demolition debris is preventing a clear unobstructed path to exit. 	\$3,800

Fifth Floor

- Demolition debris is preventing a clear unobstructed path to exit.

Sixth Floor

- Hallway - Demolition debris is preventing a clear unobstructed path to exit.
- 600 - Demolition debris is preventing a clear unobstructed path to exit.
- 601 - Demolition debris is preventing a clear unobstructed path to exit.
- 603 - Demolition debris is preventing a clear unobstructed path to exit.
- 605 - Demolition debris is preventing a clear unobstructed path to exit.
- 606 - Demolition debris is preventing a clear unobstructed path to exit.
- 607 - Demolition debris is preventing a clear unobstructed path to exit.
- 608 - Demolition debris is preventing a clear unobstructed path to exit.
- 609 - Demolition debris is preventing a clear unobstructed path to exit.
- 614 - Demolition debris is preventing a clear unobstructed path to exit.

Seventh Floor

- Hallway - Demolition debris is preventing a clear unobstructed path to exit.
- 700 - Demolition debris is preventing a clear unobstructed path to exit.
- 701 - Demolition debris is preventing a clear unobstructed path to exit.
- 702 - Demolition debris is preventing a clear unobstructed path to exit.
- 703 - Demolition debris is preventing a clear unobstructed path to exit.
- 704 - Demolition debris is preventing a clear unobstructed path to exit.
- 706 - Demolition debris is preventing a clear unobstructed path to exit.
- 708 - Demolition debris is preventing a clear unobstructed path to exit.
- 709 - Demolition debris is preventing a clear unobstructed path to exit.

		<ul style="list-style-type: none"> • 710 - Demolition debris is preventing a clear unobstructed path to exit. • 711 - Demolition debris is preventing a clear unobstructed path to exit. • 712 - Demolition debris is preventing a clear unobstructed path to exit. • 719 - Demolition debris is preventing a clear unobstructed path to exit. • 721 - Demolition debris is preventing a clear unobstructed path to exit. • 723 - Demolition debris is preventing a clear unobstructed path to exit. <p><u>Eighth Floor</u></p> <ul style="list-style-type: none"> • Hallway - Demolition debris is preventing a clear unobstructed path to exit. • 820 - Demolition debris is preventing a clear unobstructed path to exit. • 805 - Demolition debris is preventing a clear unobstructed path to exit. • 803 - Demolition debris is preventing a clear unobstructed path to exit. <p><u>Ninth Floor</u></p> <ul style="list-style-type: none"> • Demolition debris is preventing a clear unobstructed path to exit. <p><u>Eastern Stairwell Between Levels 7 & 8</u></p> <ul style="list-style-type: none"> • Demolition debris is preventing a clear unobstructed path to exit. <p><u>Staircase First Floor and Sublevel 1</u></p> <ul style="list-style-type: none"> • The open staircase leading from 1st floor to sub level 1 does not provide a clear unobstructed path to exit. • Demolition debris is preventing a clear unobstructed path to exit. <p><u>Arboretum</u></p> <ul style="list-style-type: none"> • Many glass panes have been shattered. Broken glass, wood, and metal are preventing a clear unobstructed path to exit. 	
10. Fire Equipment	No	<p>704.1 General</p> <p>Systems, devices, and equipment to detect a fire, actuate an alarm, or suppress or control a fire or any combination thereof</p>	\$100

		shall be maintained in an operable condition at all times.	
		No fire suppression system available.	
Pending Total			14,000.00

Inspector: Bradley Shupp

Inspection Date: 01/19/2021

